



Executive Board Meeting Agenda

Wednesday, July 28, 2021
 Zoom Meeting
 Join by computer: <https://us06web.zoom.us/j/83386221260>
 Join by phone: Dial 1-929-436-2866 and enter Meeting ID 833 8622 1260

Chairman Bobby Compton will convene a special meeting of the Centralina Executive Board **on Wednesday, July 28, 2021 at 5:00 pm**. The meeting will be held via Zoom.

Time	Item	Presenter
5:00 p.m.	Call to Order	Bobby Compton
	Roll Call	
	Moment of Silence	
	Amendments to the Agenda (if any)	
Regular Business Items:		
5:10 p.m. Item 1 30 minutes Pages 3 – 16	Centralina Office Space Options Presentation The Executive Board will receive an update on Centralina's options for office space to help inform the Board's decision-making at its September 8 th meeting. Action/Recommendation <i>Receive as information and provide feedback.</i>	Geraldine Gardner
5:40 p.m. 5 minutes	Comments from the Executive Board and Centralina Staff	Board Members and Staff
5:45 p.m. 5 minutes	Comments from the Executive Director	Geraldine Gardner
5:50 p.m. 5 minutes	Comments from the Chair	Bobby Compton
6:00 p.m.	Adjournment	Bobby Compton

Centralina Regional Council complies with the Americans with Disabilities Act (ADA), which prohibits discrimination on the basis of disability. Centralina Regional Council will make reasonable accommodations in all programs/services to enable participation by an individual with a disability who meets essential eligibility requirements. Centralina Regional Council's programs will be available in the most integrated setting for each individual. If any accommodations are necessary for participation, please contact the Clerk to the Board, 9815 David Taylor Drive, Charlotte, NC 28262, phone (704) 348-2728. Please allow 72 hours advance notice for preparation. Visit our website: www.centralina.org.



CENTRALINA

REGIONAL COUNCIL

Item 1

Board Agenda Item Cover Sheet

Board Meeting Date:	July 28, 2021	Agenda Item Type:	Consent:		Regular:	X
Submitting Person:	Kelly Weston	Presentation Time:	30 minutes			
Presenter at Meeting:	Geraldine Gardner	Phone Number:	704-351-7130			
		Email:	ggardner@centralina.org			
Alternate Contact:		Phone Number:				
		Email:				
Submitting Department:	Admin/Executive	Department Head Approval:	Geraldine Gardner			
Description of Agenda Item:						
The Executive Board will receive an update on Centralina's options for office space to help inform the Board's decision-making at its September 8 th meeting.						
Background & Basis of Recommendations:						
<p>Centralina's current lease of office space at 9815 David Taylor Drive expires at the end of March 2022. We are required to provide notice by September 30, 2021 if we intend to remain at this location or move to a new space. To assist us in this process, we engaged Cushman & Wakefield. Centralina has worked with the firm for the past two moves and has an established relationship with the lead broker.</p> <p>On July 16, 2021, Board officers, Centralina department directors and a staff committee visited two potential office sites in the University Area that are under consideration. The Executive Board will receive a briefing on these locations and our current site.</p>						
Requested Action / Recommendation:						
Receive as information and provide feedback.						
Time Sensitivity: <i>(none or explain)</i>	The Executive Board will make a decision on the office space at its September 8 th meeting.					
Budget Impact: <i>(none or explain)</i>	A financial analysis will be presented during the meeting.					
Attachments: <i>(none or list)</i>	Centralina Market Options – July 2021					

MARKET OPTIONS



CENTRALINA
REGIONAL COUNCIL

CHARLOTTE, NORTH CAROLINA

July 2021

Prepared By:

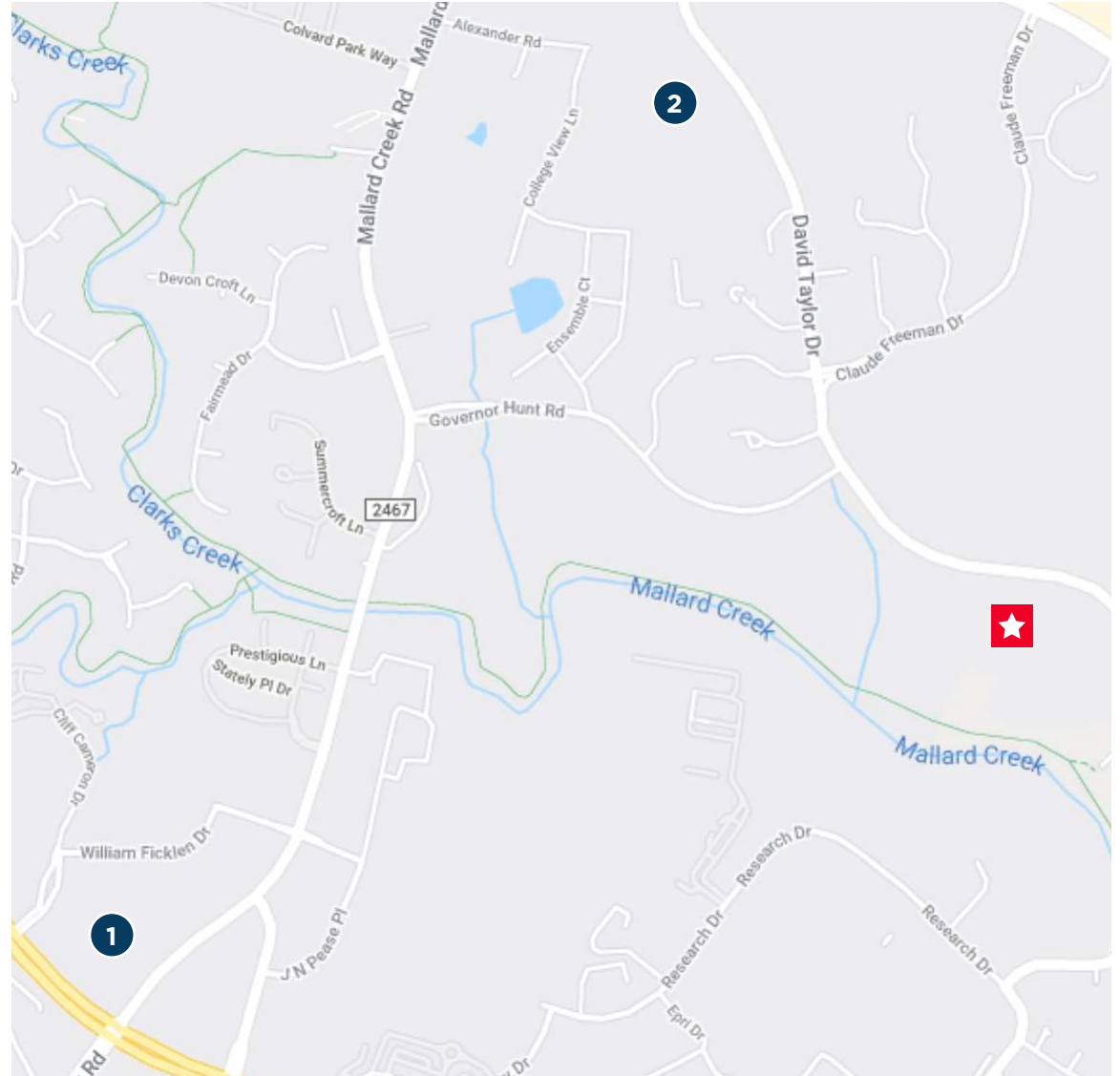
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LOCATION MAP

PROPERTY KEY

1. 8520 Cliff Cameron Dr - Grove 5
 2. 10735 David Taylor Dr - Four Resource Square
- ★ 9815 David Taylor Drive - Current Location



1. 8520 CLIFF CAMERON DR GROVE 5



PROPERTY INFORMATION

Rate	\$23.75/SF with 2.75% annual escalations
Lease Type	Full Service
Free Rent	7 months
TIA	\$45.00/SF
SF Available	Suites 170 & 320 - 12,385 SF
Parking Ratio	5/1,000
Amenities	Tenant Amenity Lounge, Food Service, Property Manager on Site

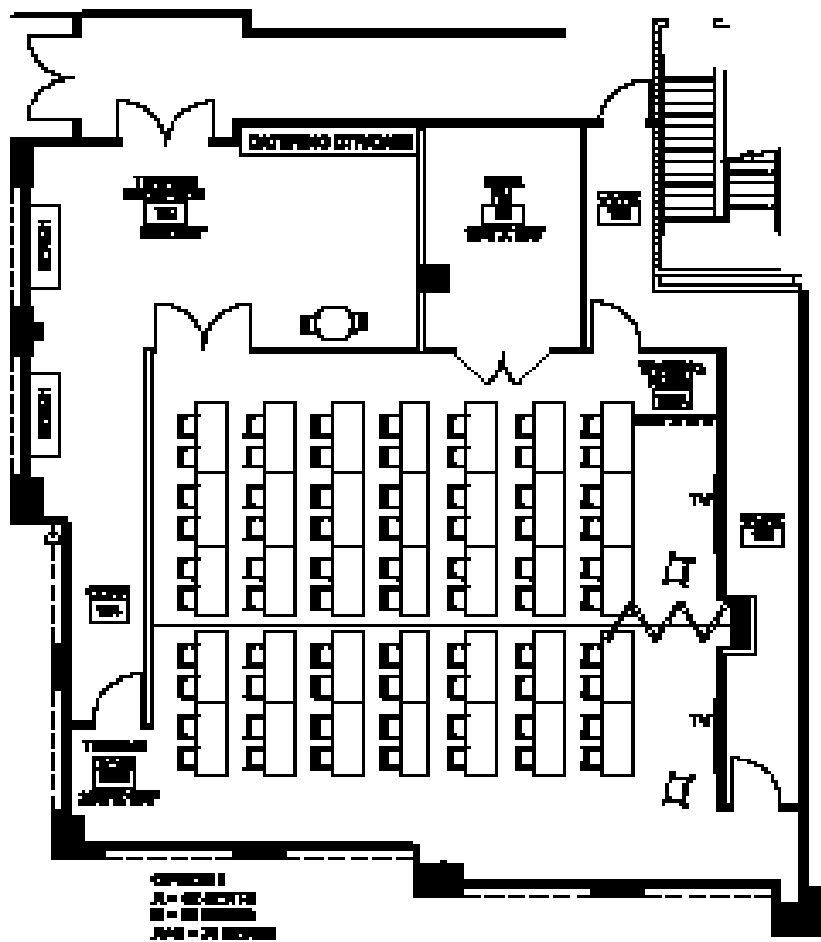


	The Grove
Workstation (6x7)	42
Private Office	7
Small Conference Room (seat 4-6)	4
Medium Conference Room (seat 10-12)	2
Training Room (1 room that converts to 2)	1 (seat 70-72)
Phone Room	2 (built-in)
Storage Room	4

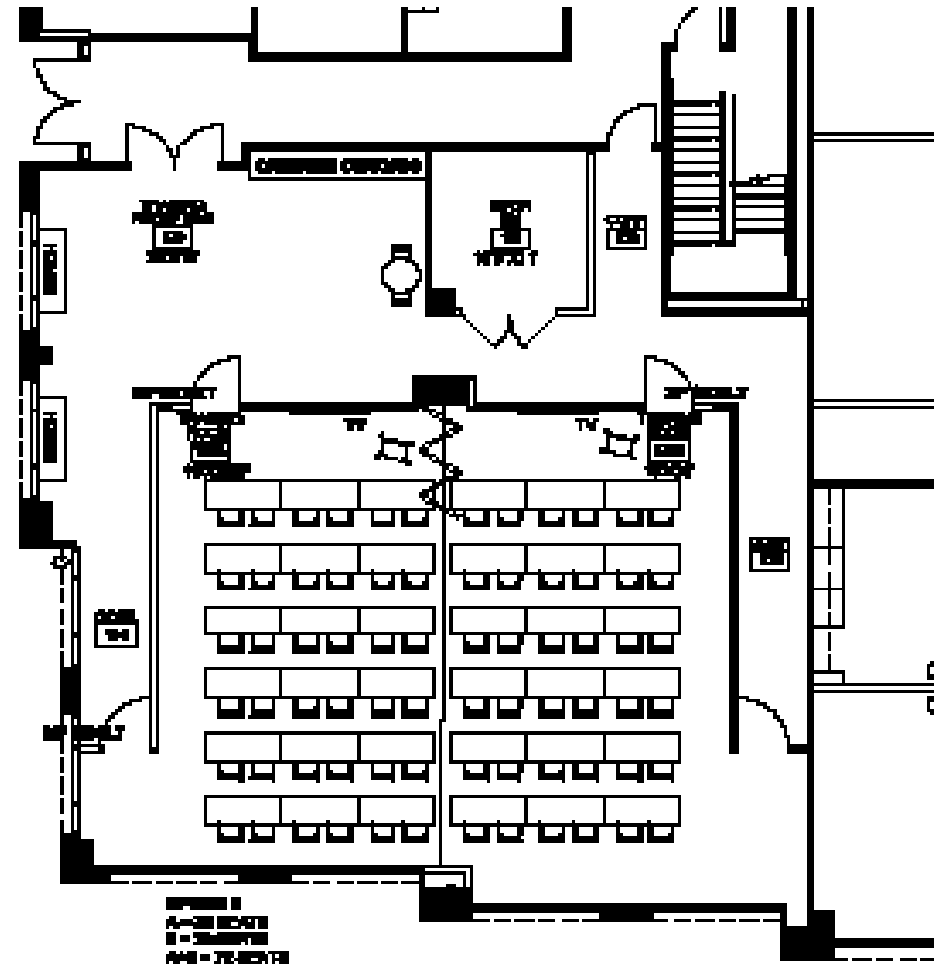
1. 8520 CLIFF CAMERON DR GROVE 5

TRAINING ROOM

OPTION 1



OPTION 2





University's
BEST KEPT SECRET
www.TheGroveCharlotte.com

01

Unparalleled location and visibility at the corner of W.T. Harris Blvd and Mallard Creek Road.

02

On-site maintenance and security with an abundant parking at an overall average ratio of 5.0 per 1000.

03

Beautiful park-like office campus with mature landscaping and vibrant nature trails.

04

Quick and easy access to and from Uptown, Airport, and Interstates 85, 485, and 77.

05

With immediate access to transit, housing, retail, & dining amenities, the University Submarket has an ever-growing talent pool of young, highly-educated individuals.

06

The Grove is able to accommodate tenants of various sizes with ease and flexibility.

FOR LEASING INQUIRIES OR FURTHER INFORMATION, PLEASE CONTACT STREAM REALTY PARTNERS:

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 980.819.4274
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PROFESSIONALLY
 LEASED & MANAGED BY



AT THE CORNER of
INNOVATION and THE FUTURE.

www.TheGroveCharlotte.com



Easily Accessible

THE GROVE IS CENTRALLY LOCATED IN THE UNIVERSITY SUBMARKET, SURROUNDED BY CHARLOTTE'S MAJOR INTERSTATES, AFFORDING TENANTS CONVENIENT ACCESS IN ALL DIRECTIONS.

Lynx Blue Line Extension

PROJECTED TO COMPLETE IN MARCH 2018, THE \$1.2B LYNX LIGHT RAIL EXTENSION WILL LINK UPTOWN CHARLOTTE AND SOUTH CHARLOTTE TO UNIVERSITY CITY AND THE UNCC CAMPUS. THIS, COMBINED WITH ACCESS TO OVER 70 CHARLOTTE AREA TRANSIT SYSTEM (CATS) BUS ROUTES AND MULTIPLE PARK-N-RIDE LOCATIONS, PROVIDES TENANTS WITH A WIDE ARRAY OF OPTIONS FOR COMMUTING TO AND FROM WORK.

DRIVE TIMES

- 3 min > TO INTERSTATE 85
- 7 min > TO INTERSTATE 77
- 7 min > TO INTERSTATE 485
- 10 min > TO CBD/UPTOWN
- 15 min > TO CHARLOTTE DOUGLAS INTERNATIONAL AIRPORT

PROFESSIONALLY
LEASED & MANAGED BY



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INNOVATION and THE FUTURE.

www.TheGroveCharlotte.com



THE GROVE 5

8550 Cliff Cameron Drive

THE GROVE 5 IS A FOUR STORY, CLASS A OFFICE BUILDING OFFERING TENANTS BOTH SUPERIOR ACCESSIBILITY AND VISIBILITY AT THE PROMINENT INTERSECTION OF W.T. HARRIS BOULEVARD AND MALLARD CREEK ROAD. LARGE EFFICIENT FLOOR PLATES WITH FLOOR TO CEILING GLASS LINES OVERLOOKING THE BEAUTIFULLY LANDSCAPED OFFICE PARK, TEAMED WITH AN ABUNDANT 5.2 PER 1,000 PARKING RATIO, MAKE THIS THE IDEAL CLASS A OPTION FOR TENANTS WITHIN THE UNIVERSITY SUBMARKET.



BUILDING SIZE	MAX CONTIGUOUS
117,058 SF	21,036 SF
PARKING RATIO	STORIES
5.2 PER 1000	FOUR (4)



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PROFESSIONALLY
LEASED & MANAGED BY





UNDER 1 MILE

- FOOD & DRINK -

- LongHorn Steakhouse
- Red Robin
- Nona's Sweets
- Tony's Pizza
- Salsarita's Fresh Cantina
- Romano's Macaroni Grill

- NEIGHBORHOOD AMENITIES -

- Suntrust Bank
- BB&T Bank
- First Citizens Bank
- Wells Fargo Bank
- Charlotte Metro Credit Union
- Mallard Creek Family Dentistry
- Harris Teeter
- YMCA
- AAA
- SpringHill Suites - Marriott
- TownePlace Suites - Marriott
- D'va Styles
- Bennett's Barbershop
- Lee Spa Nails
- So Pretty Fashion

1 - 2 MILES

- FOOD & DRINK -

- Starbucks
- Dunkin' Donuts
- Chic-fil-A
- Taco Bell
- Zaxby's
- McDonalds
- Teriyaki Grill Express
- KFC
- Wendy's
- Lotus Chinese Cuisine
- Jason's Deli
- Niyo Sushi
- Chilli's
- Taco Mac
- TGI Fridays
- Taco Bell
- Applebee's
- China Buffet
- Nakato Japanese & Sushi
- Bojangles'
- Burger King
- Le Kabob Grill
- Jimmy John's
- Shane's Rib Shack
- Thai House
- Showmars
- Noodles and Company

- Pei Wei
- Ciro's Italian
- Five Guys
- IHOP
- Picasso's Sports Cafe
- QDOBA
- Da Vinci's Pizza
- Super Wok
- US Fried Chicken
- Sun Energy Smoothies
- Zoe's Kitchen
- Hickory Tavern
- Farley's Pizzeria
- Toyama Express Japanese
- Dairy Queen
- Cold Stone Creamery
- The Burrito Factory
- Wing Zone
- Smoothie King
- Antonio's Pizza
- Papa John's Pizza
- Chipotle Mexican Grill
- Bruegger's Bagels
- Jersey Mike's Subs
- Wingstop
- Panera Bread
- Jamba Juice

- NEIGHBORHOOD AMENITIES -

- Western Union
- Bank of America

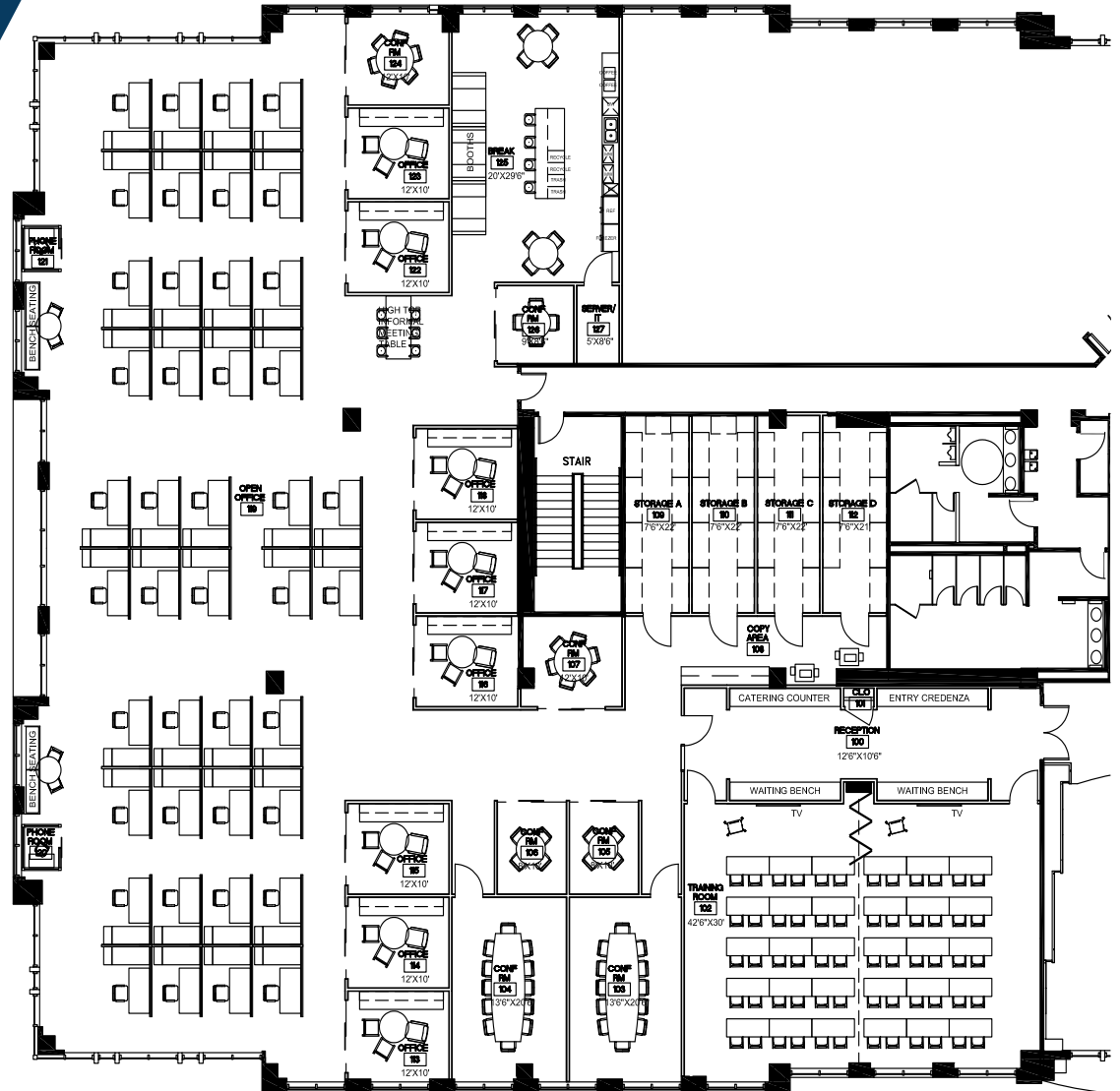
- Wells Fargo Bank
- BB&T Bank
- Fifth Third Bank
- PNC Bank
- Trader Joe's
- Fresh Market
- Harris Teeter
- Walmart Supercenter
- Walgreens
- CVS
- Dollar Tree
- Dollar General
- Sam's Club
- Office Depot
- FedEx
- Michaels
- Hobby Lobby
- PetSmart
- Jos. A Bank
- GameStop
- UPS Store
- USPS
- Fitness Connection
- Mecklenburg County ABC
- Total Wine & More
- Hilton Hotel
- Courtyard by Marriott
- Hampton Inn
- Homewood Suites - Hilton
- Ulta Beauty
- Avalon Nails and Spa

2. 10735 DAVID TAYLOR DR FOUR RESOURCE SQUARE



PROPERTY INFORMATION

Rate	\$26.00/SF with 2.75% annual escalations
Lease Type	Full Service
Free Rent	6 months
TIA	\$48.00/SF
SF Available	Suite 250 - 12,649 SF
Parking Ratio	4/1,000
Amenities	Conferencing Facility, Fitness Center, Property Manager on Site



	Resource 4
Workstation (6x7)	42
Private Office	8
Small Conference Room (seat 4-6)	5
Medium Conference Room (seat 10-12)	2
Training Room (1 room that converts to 2)	1 (seat 60)
Phone Room	2 (furniture)
Storage Room	4

NOT AN ORDINARY OFFICE PARK



RESOURCE
SQUARE 4



RESOURCE SQUARE FOUR

745 - 31,953 RSF AVAILABLE

- Availabilities include brand new spec spaces and larger plug and play opportunities.
- New one-of-a-kind amenity center in Resource Square Four featuring a large training room, 2 medium sized conference rooms, fitness center with Peloton Bikes and Echelon Mirrors, versatile touchdown and lounge seating, an Avenue C Canteen/coffee services, and direct access to the outdoor patio
- Large efficient floorplates are ideal for various layouts.
- Less than 5 minute walk to numerous restaurants and retail opportunities.
- Convenient access to all of Charlotte including Uptown and the Airport via I-85, I-485, and I-77

BUILDING FEATURES

TOTAL SQUARE FEET	152,308 RSF
AVAILABLE	745 - 31,953 RSF
YEAR BUILT	1999
PARKING RATIO	4.6/1,000
LEASE RATE	\$26.50 FULL SERVICE

A DYNAMIC SUBMARKET CLASS A OFFICE PARK IN



AVAILABILITIES

SUITE	SF MIN	SF MAX	RATE
SUITE 100-A	3,366 RSF	7,037 RSF	\$26.50/SF
SUITE 120	3,671 RSF	7,037 RSF	\$26.50/SF
SUITE 130	2,517 RSF	2,517 RSF	\$26.50/SF
SUITE 150	2,345 RSF	4,400 RSF	\$26.50/SF
SUITE 160	1,457 RSF	1,457 RSF	\$26.50/SF
SUITE 180	2,055 RSF	4,400 RSF	\$26.50/SF
SUITE 250	15,664 RSF	15,664 RSF	\$26.50/SF
SUITE 260*	4,580 RSF	4,580 RSF	\$26.50/SF
SUITE 300	7,975 RSF	14,662 RSF	\$26.50/SF
SUITE 320	745 RSF	2,615 RSF	\$26.50/SF
SUITE 340	1,870 RSF	2,615 RSF	\$26.50/SF
SUITE 360	6,687 RSF	14,662 RSF	\$26.50/SF
SUITE 400*	31,953 RSF	31,953 RSF	\$26.50/SF
SUITE 550	3,419 RSF	3,419 RSF	\$26.50/SF

*SUITE 260 SPEC SUITE & SUITE 400 PLUG & PLAY

ACCESSIBILITY



LYNX LIGHT RAIL STATION
3 MILES | 5 MINUTES



CHARLOTTE CBD
11 MILES | 15 MINUTES



HUNTERSVILLE
8 MILES | 14 MINUTES



CHARLOTTE DOUGLAS INTERNATIONAL AIRPORT
15 MILES | 17 MINUTES

FOR MORE INFORMATION, CONTACT:

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OWNED BY
TERRACAP

LEASING BY

FOUNDRY
COMMERCIAL

LEGEND

 9815 David Taylor Drive, Charlotte, NC

 Employee Mean/Drive Time Center
US-74 & 7th St, Charlotte, NC

 Employee Zip Code Locations (43)

9815 David Taylor Dr Peak Drive Times:

 0-15 Minutes (2 Employees/4.4%)

 15-30 Minutes (8 Employees/17.8%)

 30-45 Minutes (13 Employees/28.9%)

 45-60 Minutes (14 Employees/31.1%)

60+ Minutes (8 Employees/17.8%)

Employee Mean Center & Drive Time Center
US-74 & 7th Street, Charlotte (Peak DT)

0-15 Minutes (7 Employees/16.3%)

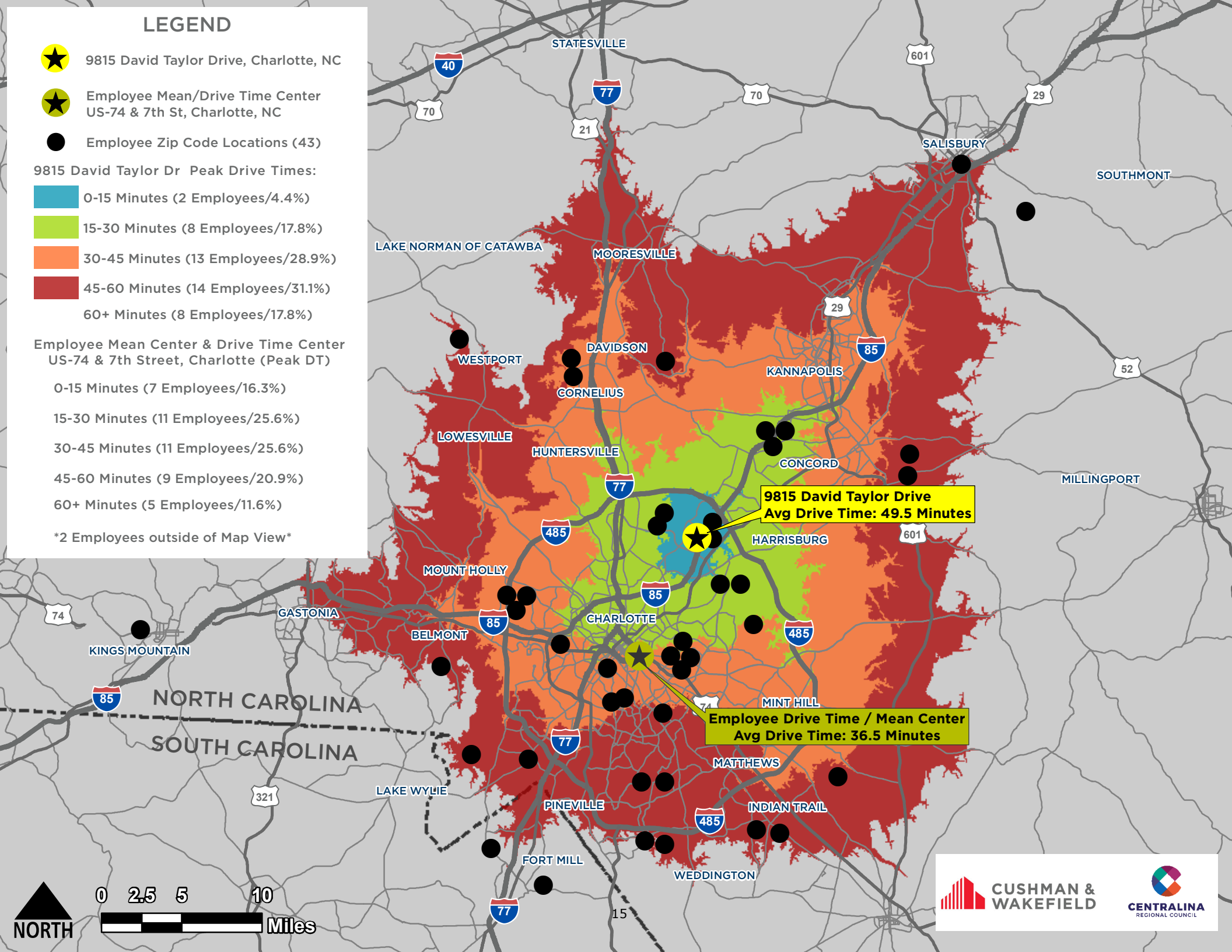
15-30 Minutes (11 Employees/25.6%)

30-45 Minutes (11 Employees/25.6%)

45-60 Minutes (9 Employees/20.9%)

60+ Minutes (5 Employees/11.6%)

2 Employees outside of Map View





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